

**GENERAL NOTES**

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES REGULATIONS AND LANDLORD'S REQUIREMENTS.
- DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS AND JOB CONDITIONS.
- SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT, OR WHERE THERE APPEARS TO BE AN ERROR ON THE DRAWINGS OR A DISCREPANCY BETWEEN THE DRAWINGS AND FIELD CONDITIONS, THE DESIGNER SHALL BE NOTIFIED AS SOON AS POSSIBLE FOR THE PROCEDURE TO BE FOLLOWED. IF THE CONTRACTOR PROCEEDS WITH THE WORK SO AFFECTED WITHOUT INSTRUCTIONS FROM THE DESIGNER, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECTS. THIS INCLUDES ERRORS IN THE SPECIFICATIONS AND NOTATIONAL ERRORS ON THE DRAWINGS WHERE DOUBTFUL OF INTERPRETATION.
- IN THE CASE WHERE TWO OR MORE DETAILS APPLYING TO THE SAME PART OF THE WORK ARE IN CONFLICT, THE MOST RESTRICTIVE SHALL GOVERN UNLESS CLARIFIED OR OTHERWISE APPROVED BY THE DESIGNER.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL CAREFULLY EXAMINE THE CONDITIONS AFFECTING HIS WORK BEFORE PROCEEDING, AND SHALL REPORT TO THE DESIGNER ANY CONDITION WHICH WOULD PREVENT THE PROPER AND LEGAL COMPLETION OF HIS WORK. NOT REPORTING ANY SUCH UNSUITABLE CONDITION WILL CONSTITUTE ACCEPTANCE OF ALL CONDITIONS BY THE CONTRACTOR AND/OR SUBCONTRACTOR.
- APPROVAL OF SHOP DRAWINGS MEANS APPROVAL OF THE GENERAL METHOD OF FABRICATION ONLY. DIMENSIONS AND QUANTITIES MAY NOT BE CHECKED, AND APPROVAL OF SHOP DRAWINGS DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS UNLESS SPECIFICALLY INDICATED IN THE APPROVAL.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. WHERE DRAWINGS AND SPECIFICATIONS CONFLICT, THE MOST RESTRICTIVE SHALL APPLY.
- LANDLORD'S BUILDING IS FULLY SPRINKLERED CONSTRUCTION.
- PROVIDE 2A,10BC MINIMUM RATED FIRE EXTINGUISHER IN A SEMI RECESSED CABINET TO BE LOCATED WITHIN 75 FEET OF TRAVEL DISTANCE FROM ALL AREAS. PROVIDE ONE EXTINGUISHER FOR EACH 75 FEET OF TRAVEL.
- PLANS OF ALTERATIONS TO EXISTING SPRINKLER SYSTEM SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION OF SYSTEM.
- DRAPES AND OTHER DECORATIVE MATERIALS SHALL BE FLAME RETARDANT. CERTIFICATION THEREOF SHALL BE PROVIDED. EXITS, EXIT LIGHTS, FIRE ALARM STATIONS, HOSE CABINETS AND EXTINGUISHER LOCATIONS SHALL NOT BE CONCEALED BY DECORATIVE MATERIAL.
- A "THIS DOOR IS TO REMAIN UNLOCKED WHEN BUILDINGS OCCUPIED" SIGN, WITH A MINIMUM ON (1) INCH HIGH LETTERS SHALL BE PROVIDED ADJACENT TO FRONT EXIT DOOR. PROVIDE INDICATING TYPE LOCKS ON DOORS.
- NO HAZARDOUS MATERIALS, LIQUIDS OR CHEMICALS SHALL BE STORED OR USED WITHIN THE SUBJECT BUILDING AS TO REQUIRE A HAZARDOUS CLASSIFICATION PER APPLICABLE BUILDING CODE.
- ALL INTERIOR WALLS AND PARTITIONS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST ALL LOADS TO WHICH THEY ARE SUBJECTED BUT NOT LESS THAN A FORCE OF 5 POUNDS PER SQUARE FOOT APPLIED PERPENDICULAR TO WALLS.
- ALL EXITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- LIGHT, VENTILATION AND SANITATION SHALL COMPLY WITH SECTIONS OF APPLICABLE BUILDING CODES.
- DOORS SHALL HAVE A CLEAR OPENING OF NO LESS THAN 32" WHEN OPEN AND BE OPERABLE BY A SINGLE EFFORT.
- THE FLOOR INSIDE OR OUTSIDE OF A DOORWAY SHALL BE LEVEL FOR A DISTANCE OF 5'-0" FROM THE DOOR, IN THE DIRECTION OF THE DOOR SWING, AND SHALL EXTEND 18" BEYOND THE LATCH SIDE FOR INTERIOR DOORS AND 24" BEYOND THE LATCH SIDE FOR EXTERIOR DOORS.
- SWITCHES AND CONTROLS FOR LIGHTS, VENTILATION, FIRE ALARMS, ETC. MUST BE PLACED NO MORE THAN 48" FROM THE FLOOR.
- A 7'-0" MINIMUM VERTICAL CLEARANCE IS REQUIRED FROM THE FLOOR TO CEILINGS OR PROTRUDING WALL FIXTURES.
- EXISTING PUBLIC TOILETS IN ACCORDANCE W/ APPLICABLE CODES FURNISHED BY LANDLORD FOR TENANT'S USE ARE LOCATED WITHIN 300 FT OF SPACE.
- THE NUMBER OF EMPLOYEES PER SHIFT SHALL NOT EXCEED FOUR(4).
- PLANS FOR ALL FIXED FIRE PROTECTION EQUIPMENT SUCH AS STANDPIPES, SPRINKLER SYSTEMS AND FIRE ALARM SYSTEMS, ETC.. MUST BE SUBMITTED TO, AND APPROVED BY, THE FIRE PREVENTION BUREAU BEFORE THIS EQUIPMENT IS INSTALLED.

LANDLORD NOTES:  
 TENANT AND TENANT'S ARCHITECT SHALL BE RESPONSIBLE TO COMPLY WITH ALL THE REQUIREMENTS OF FEDERAL AND STATE GUIDELINES/CODES FOR TEH AMERICANS WITH DISABILITIES ACT WITHIN TENANT'S PREMISES AND WITH RESPECT TO TENANT'S ACTIVITIES IN THE BUILDING.

PRIOR TO THE START OF ANY SITE WORK, TENANT AND/OR TENANTS CONTRACTOR SHALL FURNISH THE FOLLOWING INFORMATION TO LANDLORD:  
 1. COPY OF CONTRACTORS CERTIFICATE OF WORKERS COMPENSATION AND GENERAL DISABILITY INSURANCE NAMING LANDLORD AS ADDITIONAL INSURED.  
 2. COPY OF THE BUILDING PERMIT.

THESE PLANS MUST BE KEPT ON SITE AT ALL TIMES.  
 LANDLORD RESERVES THE RIGHT TO MAKE PERIODIC VISITS TO THE SITE TO CONFIRM AND REVIEW PROGRESS IN COMPLIANCE WITH THE PLANS.  
 WITHIN 10 DAYS OF COMPLETION OF CONSTRUCTION TENANT/TENANT'S CONTRACTOR WILL FILE A NOTICE OF COMPLETION AND FORWARD A RECORDED COPY TO LANDLORD.

**FIRE DEPARTMENT NOTES:**

- LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CFC 906 AND CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 19.
- DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC 1415.1
- IN BUILDINGS FOUR OR MORE STORIES IN HEIGHT, STANDPIPES SHALL BE PROVIDED DURING CONSTRUCTION WHEN THE HEIGHT REACHES 40 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS. A FIRE DEPARTMENT CONNECTION SHALL BE NO MORE THAN 100 FEET FROM AVAILABLE FIRE DEPARTMENT VEHICLE ACCESS ROADWAYS CFC 1410, 1413.
- WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATIONS IN CBC TABLE 803.3 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE CITY OF SAN DIEGO.
- EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL.
- THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE IS PERMITTED IN ANY EGRESS PATHS.
- COMPLETE PLANS AND SPECIFICATIONS FOR ALL FIRE EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLER AND STANDPIPE SYSTEMS AND OTHER SPECIAL FIRE EXTINGUISHING SYSTEMS AND RELATED APPURTENANCES SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. CFC 901.2
- FIRE SPRINKLER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH CBC 903.3
- ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS AND WATERFLOW SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE ELECTRONICALLY MONITORED WHERE THE NUMBER OF SPRINKLERS SERVED IS 20 OR MORE. CBC 903.4
- ONE APPROVED AUDIBLE DEVICE MUST BE CONNECTED TO EVERY AUTOMATIC SPRINKLER SYSTEM IN AN APPROVED LOCATION ON THE EXTERIOR OF THE STRUCTURE. CBC 903.4.2
- AN AUTOMATIC EXTINGUISHING SYSTEM SHALL BE PROVIDED TO PROTECT COMMERCIAL TYPE FOOD HEATING EQUIPMENT THAT PRODUCES GREASE LADEN VAPORS AND SHALL COMPLY WITH 2010 CFC, CMC AND 2002 NFPA 17A. REVIEW AND APPROVAL OF A HOOD AND DUCT EXTINGUISHING SYSTEM PLAN IS REQUIRED PRIOR TO INSTALLATION OR USE OF COOKING EQUIPMENT.
- COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO DEVELOPMENT SERVICES FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. CFC 907.1.1
- FIRE ALARM SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH CFC 907
- AUTOMATIC FIRE SPRINKLER SYSTEM(S) AND ALL CONTROL VALVES, WITH THE EXCEPTION OF THOSE LISTED IN CBC 903.4 SHALL BE MONITORED BY A UL LISTED CENTRAL ALARM STATION.
- CONSTRUCTION DOCUMENTS APPROVED BY FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH CURRENT CODE. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE (CFC 105.4.4)
- ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (CFC 505.1)
- FIRE EXTINGUISHING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH CFC 903 AND 904, AND COMPLY WITH STANDARDS 903.3
- COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION CFC 907.1.1
- AN APPROVED AUDIBLE SPRINKLER FLOW ALARM (BELL) SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION. CFC 903.4.2

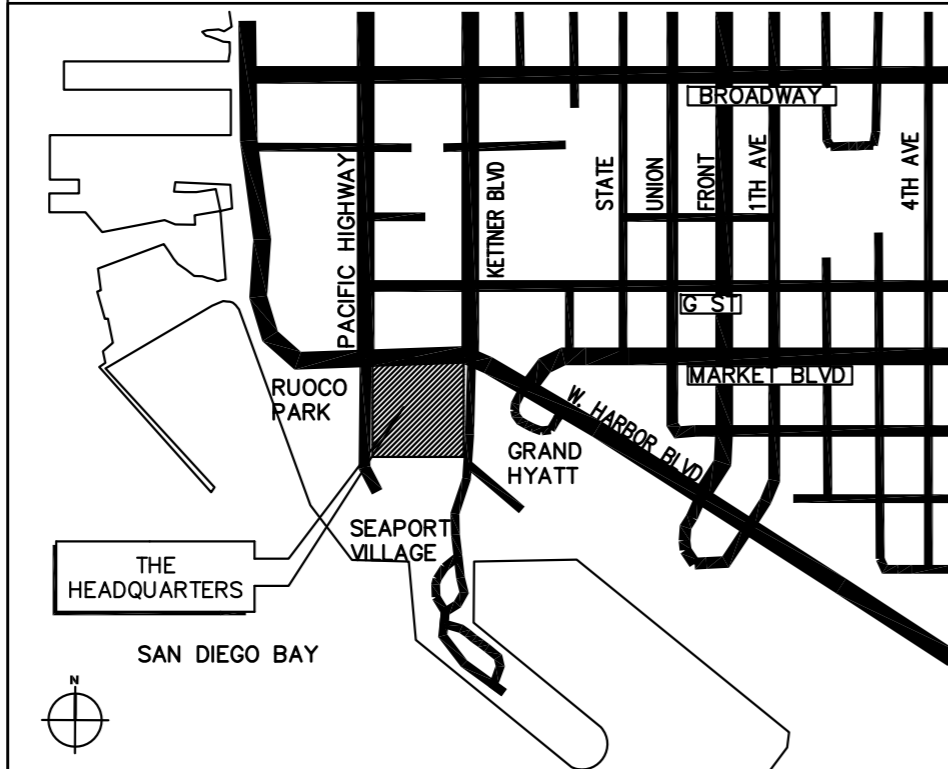
**SECTION IV TENANTS WORK**

EACH TENANT IS REQUIRED BY THEIR LEASE TO COMPLY WITH THE TENANT CRITERIA MANUAL. REFER TO LEASE EXHIBIT C FOR FURTHER CLARIFICATION.

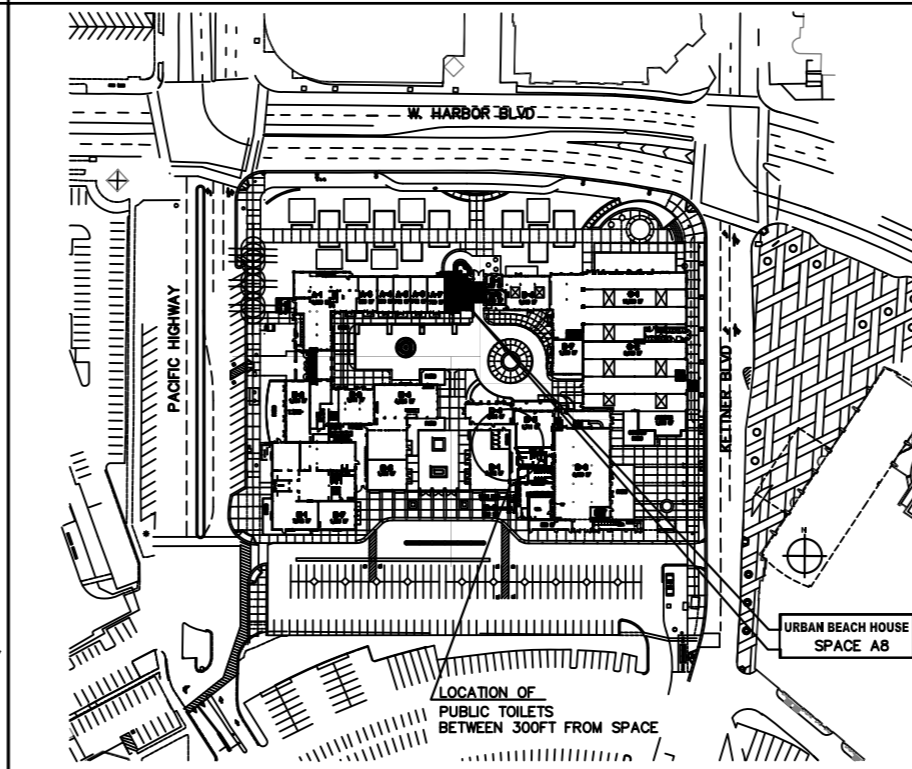
NATIONAL AND STATE HISTORIC REQUIREMENTS: THE PREMISES IS LOCATED WITHIN A BUILDING THAT IS PROTECTED UNDER THE NATIONAL REGISTER OF HISTORIC PLACES AND CALIFORNIA REGISTER OF HISTORIC BUILDINGS. ADHERENCE TO CERTAIN STANDARDS AND GUIDELINES ESTABLISHED BY THE SECRETARY OF INTERIOR IS REQUIRED FOR ALL WORK RELATIVE TO THE BUILDING AND WITHIN THE PREMISES AND AS INDICATED ON THE LOD OF THE PREMISES. CLOSE COORDINATION WITH LANDLORD OF ALL WORK WILL BE REQUIRED TO ENSURE COMPLIANCE WITH THESE STANDARDS/GUIDELINES DURING DESIGN AND CONSTRUCTION OF TENANT'S WORK. TENANT'S WORK SHALL NOT INCLUDE ANY OF THE FOLLOWING:

- SANDBLAST OR PRESSURE WASHES ANY PORTION OF THE BUILDING OR PREMISES.
- APPLY ANY NEW FINISHES WHICH CONCEAL OR DAMAGE THE BRICK.
- APPLY TINTED FILM OR PAINT OVER ANY GLAZING ON EXTERIOR WINDOWS.
- PAINT OR STAIN ANY EXPOSED WOOD CEILING OR ROOF STRUCTURE, HOWEVER, TENANT MAY INSTALL A DROP CEILING WHICH IS SUBJECT TO HISTORICAL REQUIREMENTS.
- REMOVE OR DAMAGE EXISTING WOOD FLOORING.
- MODIFY, REMOVE, OR REPLACE EXTERIOR DOORS.
- MODIFY, REMOVE, OR REPLACE STOREFRONTS.
- INSTALL ANY ROOFTOP EQUIPMENT OR FEATURES WHICH ARE VISIBLE FROM THE ADJACENT STREETS.
- ADD NEW EXTERIOR FEATURES WITHOUT LANDLORD, PORT DISTRICT AND CITY APPROVAL.
- CREATE NEW OPENINGS IN THE EXTERIOR WALLS.
- FUR-DOWN CEILINGS BELOW THE TOP OF ANY EXTERIOR WINDOW.
- INSTALL A NEW WALL THAT BISECTS ANY EXTERIOR WINDOW.
- REMOVE ANY BRICK, WOOD COLUMN, WOOD CEILING, OR ROOF ELEMENT.
- INSTALL EXTERIOR FABRIC AWNINGS.
- INSTALL EXTERIOR LIGHTING.

**VICINITY MAP** NOT TO SCALE



**KEY PLAN** NOT TO SCALE



**SHEET INDEX**

SHEET	DESCRIPTION
CJ/TS-1	OPH FIRST FLOOR BASE PLAN
CJ/TS-2	OPH SECOND FLOOR BASE PLAN
CJ/A1.1	OPH ELEVATIONS BASE
CJ/A1.3	DISABLED ACCESSIBILITY PLAN
CJ/A1.5	FIRETRUCK ACCESS SITEPLAN
T.1	GENERAL NOTES, KEY PLAN, VICINITY MAP, PROJECT DATA
A.1	FLOOR PLAN, DOOR SCHEDULE, NOTES
A.2	REFLECTED CEILING PLAN, NOTES
A.3	INTERIOR ELEVATIONS, NOTES, COLOR & MATERIAL SCHEDULE; STOREFRONT ELEVATION
A.4	DETAILS & SPECIFICATIONS
E1.0	ELECTRICAL NOTES, FIXTURE SCHEDULE, SYMBOL LIST, SINGLE LINE DIAGRAM
E2.0	ELECTRICAL LIGHTING PLAN, ELECTRICAL POWER PLAN, PANEL SCHEDULE
	AFTER HOUR LIGHTING CONTROL DIAGRAM
E3.0	ELECTRICAL COMPLIANCE FORMS
M1.0	MECHANICAL NOTES AND SPECIFICATIONS
M2.0	HVAC CEILING PLAN, DETAILS, SCHEDULE
T2.1	COMPLIANCE FORMS
T2.2	COMPLIANCE FORMS

I AM THE DESIGNER/OWNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT; I HAVE INSPECTED THE SITE/PREMISES AND DETERMINED THAT EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT SITE ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW.  
 SIGNATURE: *D. F. Vora*  
 DATE 07.26.13

I AM THE DESIGNER/OWNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT; I HAVE INSPECTED THE PREMISES AND DETERMINED THAT EXISTING RESTROOM(S) SERVING AREA(S) OF ALTERATION ARE ACCESSIBLE ACCORDING TO CURRENT REQUIREMENTS.  
 SIGNATURE: *D. F. Vora*  
 DATE 07.26.13

IF THE BUILDING INSPECTOR DETERMINES NONCOMPLIANCE WITH ANY ACCESSIBILITY PROVISIONS, HE/SHE SHALL REQUIRE COMPLETE, DETAILED PLANS CLEARLY SHOWING ALL EXISTING NON COMPLYING CONDITIONS AND THE PROPOSED MODIFICATIONS TO MEET CURRENT ACCESSIBILITY PROVISIONS AFFECTED BY THE REMODEL (INCLUDING SITE PLAN, FLOOR PLANS, DETAILS, ETC.) THE PLANS MUST BE STAMPED BY THE FIELD INSPECTOR AND RESUBMITTED TO THE BUILDING DEVELOPMENT REVIEW DIVISION.

**PROJECT DATA**

PROJECT: URBAN BEACH HOUSE	CONSTRUCTION TYPE: TYPE III-NR FULLY SPRINKLERED
DESCRIPTION: RETAIL TENANT IMPROVEMENT	OCUPANCY: M- MERCANTILE
LOCATION: THE HEADQUARTERS	GROSS LEASE PREMISES: 1088 ± SQ. FT.
	FIRE SUPPRESSION SYSTEM: YES
	OCCUPANCY LOAD: 38
	SALES AREA: ±1012 SQ.FT + 30= 37
	BACK ROOM ±76± SQ.FT+300= 1

OWNER:	LANDLORD	ARCHITECT:
URBAN BEACH HOUSE	TERRAMAR RETAIL CENTERS 5973 AVENIDA CENAS STE 300 CARLSBAD, CA 92008 PH: (760) 804-8600 CONTACT: GREG DALLAL x1148	DRV DESIGN 18281 SUN MAIDEN CT SAN DIEGO CA 92127 PH (858) 592-9205 CONTACT: DEEPAK R. VORA
		PHONE: AT&T PH: (800) 750-2355
BUILDING DEPARTMENT:		GAS & ELECTRIC COMPANY :
CITY OF SAN DIEGO DEVELOPMENT SERVICES 1222 FIRST AVENUE MS 301 SAN DIEGO, CA 92101 PH (619) 446-5000		SAN DIEGO GAS & ELECTRIC 8326 CENTURY PARK COURT SAN DIEGO, CA 92123 PH GENERAL (800) 411-7343 PH EXPRESS (800) 711-7343
FIRE:		WATER :
CITY OF SAN DIEGO DEVELOPMENT SERVICES 1222 FIRST AVENUE MS 301 SAN DIEGO, CA 92101 PH (619) 446-5440		THE CITY OF SAN DIEGO WATER DEPARTMENT PH (619) 515-3500

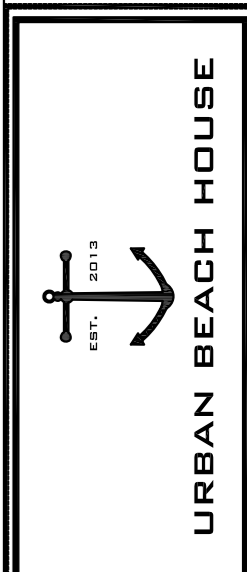
GOVERNING CODE: ALL WORK SHALL BE IN CONFORMANCE WITH, BUT NOT LIMITED TO, THE REQUIREMENTS OF THE FOLLOWING: AND ANY OTHER STATE AND LOCAL CODES HAVING JURISDICTION.  
 BUILDING: 2010 CALIFORNIA BUILDING CODE (IBC 2009)  
 MECHANICAL: 2010 CALIFORNIA MECHANICAL CODE (UMC 2009)  
 PLUMBING: 2010 CALIFORNIA PLUMBING CODE (UPC 2009)  
 ELECTRICAL: 2010 CALIFORNIA ELECTRICAL CODE (NEC 2008)  
 FIRE: 2010 CALIFORNIA FIRE CODE (IFC 2009); LIFE SAFETY CODE, NFPA SAFETY CODE  
 ENERGY: 2010 CALIFORNIA ENERGY CODE (TITLE 24, PART 6)  
 ACCESSIBILITY: 2010 CALIFORNIA BUILDING CODE, ADA, FEDERAL ACCESSIBILITY STANDARDS

THIS PROJECT WILL COMPLY THE 2010 EDITION OF CALIFORNIA BUILDING CODE (TITLE 24) WHICH ADOPTS THE 2009 IBC, 2009 UMC, 2009 UPC, AND THE 2008 NEC.

EXIT REQUIREMENTS: (2) EXITS REQ. (2) EXITS PROVIDED  
 EXIT ILLUMINATION: EMERGENCY LIGHT SHALL BE PROVIDED AS SHOWN ELECTRICAL SHEETS  
 MISCELLANEOUS NOTES: TENANT'S GENERAL CONTRACTOR SHALL VISIT THE PREMISES AND VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND SHALL REPORT ALL DISCREPACIES TO TENANT'S ARCHITECT. TENANT'S GENERAL CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS REGARDING CONSTRUCTION PROCEDURES, INSURANCE, ETC. AS SET FORTH BY THE LANDLORD.  
 FIRE SPRINKLERS: AN AUTOMATIC FIRE SPRINKLER SYSTEM IS EXISTING WITHIN THIS SPACE. THE CONTRACTOR SHALL REWORK AND MODIFY FOR NEW ROOM LAYOUT AND CEILING HEIGHTS IN CONFORMANCE WITH N.F.P.A 13 STANDARDS AND LOCAL CODES & REGULATIONS. ALL WORK SHALL BE DONE BY QUALIFIED SPRINKLER CONTRACTOR WHO SHALL DESIGN AND PREPARE SHOP DRAWINGS AND SUBMIT THEM TO THE LANDLORD FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION. SPRINKLER CONTRACTOR SHALL BE LANDLORD APPROVED. HEADS IN CEILING TILES TO BE CENTERED IN TILES WHEN IN A PUBLIC AREA.

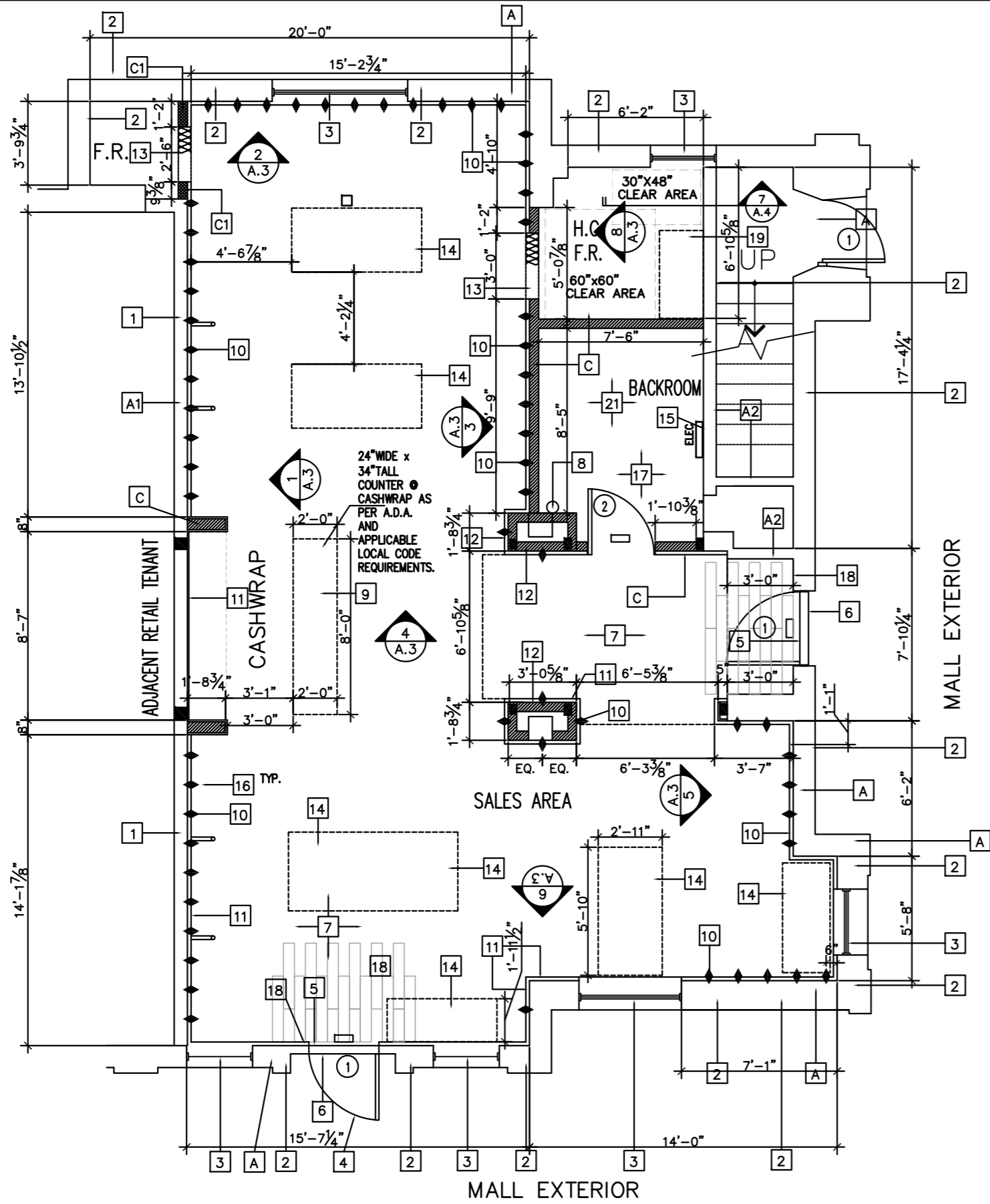
REVISIONS	BY

URBAN BEACH HOUSE  
 SPACE #A8  
 THE HEADQUARTERS  
 789 WEST HARBOR DRIVE,  
 SAN DIEGO, CA 92101



**DRV DESIGN**  
 ARCHITECTS & DESIGNERS  
 18281 Sun Maiden Ct  
 San Diego, Ca 92127  
 PH 658.592.9205

DATE: 07.26.16
SCALE: NONE
DRAWN:
JOB: UBH
SHEET
T.1
PRELIMINARY DRAWINGS



**FLOOR PLAN**  
SCALE: 1/8"=1'-0"

**DOOR SCHEDULE**

NO.	SIZE	DOOR	FRAME	HARDWARE	REMARKS
1	(2)±3'-0"x8'-2"	EXISTING	EXISTING	PIVOT HINGES, CYLINDER LOCK, DOOR CLOSURE, DOOR STAY, CUSTOM FOOT PULLS	PROVIDE ACCESSIBILITY SIGNAGE. DOOR AND HARDWARE FURNISHED BY LANDLORD
2	3'-0" x 7'-0" (BACKROOM)	SOLID CORE BIRCH DOOR	METAL	1-1/2 PAIR BUTTS, PASSAGE SET, DOOR CLOSURE, (USE LEVER TYPE HARDWARE AS PER A.D.A.)	PAINT FINISH TO DOOR & FRAME

**GENERAL DOOR SCHEDULE NOTES:**

- ALL HARDWARE USED SHALL BE COMMERCIAL GRADE IN COMPLIANCE WITH A.D.A. REQUIREMENTS, BY SCHLAGE OR APPROVED EQUAL. EXCEPT WHERE OTHERWISE NOTED ON SCHEDULE.
- FINISH ALL DOORS BY PAINTING. DOOR COLOR SHALL MATCH ADJOINING WALL COLOR AND FRAMES EXCEPT WHERE OTHERWISE NOTED ON SCHEDULE.
- PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY WITH HARDWARE SUPPLIER AND ARCHITECTURAL CONSULTANT THAT ALL DOOR HARDWARE MEETS ALL STATE AND LOCAL CODES AND ORDINANCES. NOTIFY OWNER OF ANY DISCREPANCIES.
- ALL DOORS TO CONFORM TO CURRENT APPLICABLE STANDARDS FOR HANDICAPPED ACCESSIBILITY, INCLUDING:
  - HANDLES, PULLS LATCHES, LOCKS AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS.
  - LATCHING AND LOCKING DOORS THAT ARE HAND OPERATED AND WHICH ARE IN A PATH OF TRAVEL ARE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE, PANIC BARS, PUCH-PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE. NOTE: LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION.
  - OPENING HARDWARE IS CENTERED BETWEEN 30" AND 44" ABOVE FINISH FLOOR.
  - DOOR CLOSERS, IF PRESENT, THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH MEASURED TO THE LEADING EDGE OF THE DOOR.
  - EFFORT TO OPERATE DOORS IS WITHIN PRESSURES ALLOWED.
  - INTERIOR AND EXTERIOR DOORS: 5 POUNDS MAXIMUM PRESSURE TO OPERATE.
  - FIRE DOORS: 15 POUNDS MAXIMUM OR MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE AUTHORITY.
  - BOTTOM 10" OF DOOR (EXCEPT AUTOMATIC OR SLIDING DOORS) HAS A SMOOTH UNINTERRUPTED SURFACE THAT ALLOWS DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
  - EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
  - LOCKS AND LATCHES SHALL BE PERMITTED IN MERCANTILE OCCUPANCIES THE MAIN EXTERIOR DOOR OR DOORS ARE PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM EGRESS SIDE PROVIDED:
    - A READILY DURABLE SIGN SHOULD BE POSTED ON THE EGRESS SIDE OR ADJACENT TO THE DOOR STATING: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". THE SIGN SHALL BE IN LETTERS 1 INCH HIGH ON A CONTRASTING BACKGROUND.

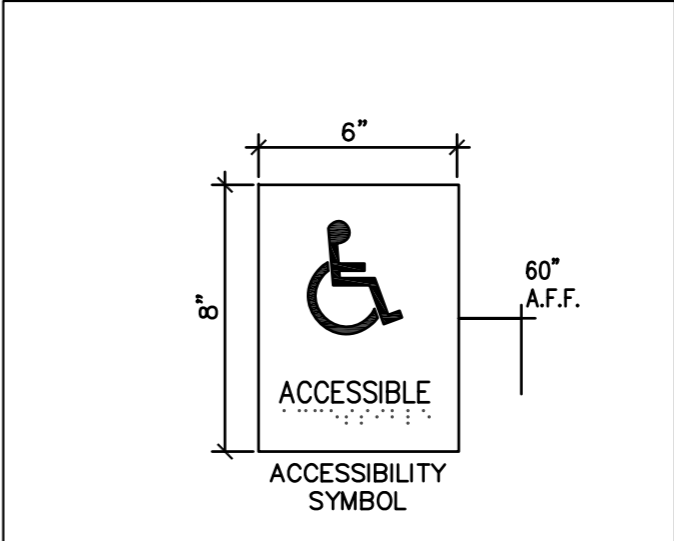
**FLOOR PLAN NOTES**

- |   |  |
|---|--|
| 1 DEMISING PARTITION BY LANDLORD TENANTS CONTRACTOR TO INSTALL 5/8" GYP BD TO UNDERSIDE OF DECK OF TENANT'S SIDE.   | 10 RECESSED STANDARDS BETWEEN WALL PANELING @ 16" O.C. (TYP.).   |
| 2 EXISTING EXTERIOR WALL.   | 11 WALL PANELING.  |
| 3 EXISTING STOREFRONT GLAZING.  | 12 GYP.BD ENCLOSURE ON METAL STUDS AROUND EXISTING COLUMNS.FINISH WITH WOOD PANELING.                                |
| 4 EXISTING ENTRY DOORS.   | 13 OPENING WITH CURTAIN AT FITTING ROOMS.  |
| 5 TENANT'S (WDF) FLOOR SHALL BE FLUSH WITH EXTERIOR MALL PAVING AT STOREFRONT CLOSURELINE. PREPARE EXISTING SUBFLOOR AS REQUIRED TO RECEIVE TENANT'S FLOOR FINISH.  | 14 DISPLAY FIXTURES. FABRICATOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL.  |
| 6 A.D.A. COMPLIANT THRESHOLD BY LANDLORD.   | 15 ELECTRICAL PANELS. REFER TO ELECTRICAL DRAWINGS   |
| 7 (WDF) WOOD FLOOR FINISH THROUGHOUT THE STORE.   | 16 TELEPHONE BACKBOARD. REFER TO ELECTRICAL DRAWINGS.  |
| 8 2-A:10-B:C (MIN.) FIRE EXTINGUISHER IN CABINET WITH A CURRENT STATE FIRE MARSHALL SERVICE TAG. MOUNTED IN A VISIBLE LOCATION WITHIN 75' (MAX.) TRAVEL DISTANCE FROM ANY POINT IN SPACE. VERIFY FINAL LOCATION WITH LOCAL FIRE MARSHALL. | 17 INSTALL 4" HIGH TOP SET RUBBER BASE.  |
| 9 CASH WRAP STATION with 36"WIDE & 34"HIGH COUNTER SECTION IN ACCORDANCE W/A.D.A. STATE AND LOCAL CODE REQUIREMENTS. FABRICATOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.  | 18 PROVIDE TACTILE "EXIT" SIGNAGE PER CBC SECTION 1003.2.8.6, 1003.2.8.6.1, AND SECTION 1117B.5 SEE DETAIL (2) (A.4) |
|   | 19 24" X 60" WIDE BENCH @ 18" A.F.F. STRUCTURAL STRENGTH SHALL COMPLY WITH ADA REQUIREMENTS.                         |
|   | 20 CLOTHING HOOK MOUNTED @ 48" A.F.F. (PER ADA) PROVIDED AND INSTALLED BY OWNER                                      |
|   | 21 PAINT FINISH TO BACK ROOM.  |

**PARTITION TYPES**

A		EXISTING EXTERIOR WALL
A1		DEMISING PARTITION BY LANDLORD TENANT TO INSTALL 5/8" TYPE "X" GYP.BD. TO UNDER SIDE OF ROOF DECK ON 6" METAL STUDS FURNISHED BY LANDLORD.
A2		EXISTING PARTITION TO REMAIN PATCH & REPAIR AS REQUIRE
C		PROPOSED PARTITION WALL- 5/8" TYPE "X" GYP. BD. ON BOTH SIDES OF 3-5/8" X 20 GA. METAL STUDS 16" O.C. SECURED TO EXISTING ROOF DECK FRAMING.
C1		PROPOSED PARTITION WALL- 5/8" TYPE "X" GYP. BD. ON BOTH SIDES OF 3-5/8" X 20 GA. METAL STUDS @ 16" O.C. (8'-0" HIGH PARTITION.)

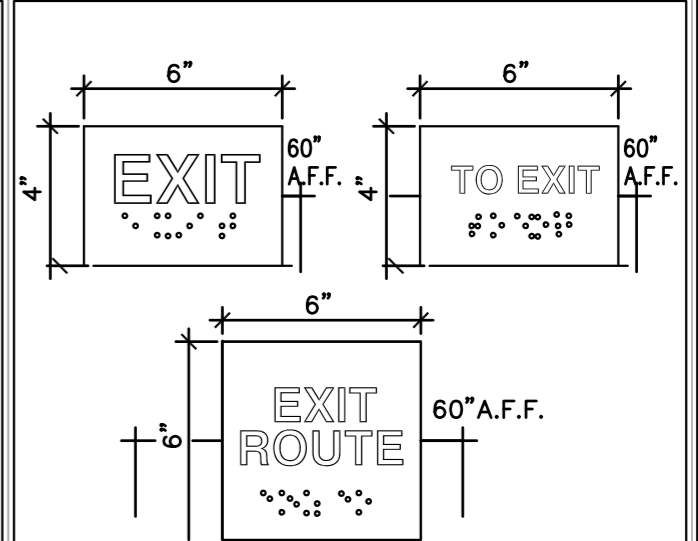
NOTE:  
G.C. TO VERIFY LOCATIONS AND QUANTITIES OF FIXTURES FROM TENANT. FIXTURE FABRICATOR TO SUBMIT SHOP DRAWINGS OF FIXTURES TO TENANT FOR APPROVAL.



MOUNT SIGN @ 60" A.F.F. TO C OF SIGN LOCATED ON LATCH SIDE OF THE DOOR ALLOWING A PERSON TO APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT PROTUDING OBJECTS.

LETTER ON SIGNS ARE RAISED 1/32", SANS SERIF UPPERCASE CHARACTERS AND ARE ACCOMPANIED BY GRADE 2 BRAILLE. RAISED CHARACTERS ARE BETWEEN 5/8" AND 2" HIGH. BRAILLE DOTS ARE 1/10" ON CENTER IN EACH CELL WITH 2/10" SPACE BETWEEN CELLS, MEASURED FROM THE SECOND COLUMN OF DOTS IN THE FIRST CELL TO THE FIRST COLUMNS OF DOTS IN THE SECOND CELL. BRAILLE DOTS ARE RAISED A MINIMUM. OF 1/40" ABOVE THE BACKGROUND. CHARACTERS AND BACKGROUND OF SIGNS IS EGGSHELL, MATTE OR OTHER NON-GLARE FINISH. CHARACTERS CONTRAST WITH THEIR BACKGROUND (LIGHT CHARACTERS ON A DARK BACKGROUND, OR DARK CHARACTERS ON A LIGHT BACKGROUND). LETTERS ON SIGNS HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10.

**ACCESSIBILITY SIGN DETAIL**  
SCALE: FULL



MOUNT SIGN @ 60" A.F.F. TO C OF SIGN LOCATED ON LATCH SIDE OF THE DOOR ALLOWING A PERSON TO APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT PROTUDING OBJECTS.

LETTER ON SIGNS ARE RAISED 1/32", SANS SERIF UPPERCASE CHARACTERS AND ARE ACCOMPANIED BY GRADE 2 BRAILLE. RAISED CHARACTERS ARE BETWEEN 5/8" AND 2" HIGH. BRAILLE DOTS ARE 1/10" ON CENTER IN EACH CELL WITH 2/10" SPACE BETWEEN CELLS, MEASURED FROM THE SECOND COLUMN OF DOTS IN THE FIRST CELL TO THE FIRST COLUMNS OF DOTS IN THE SECOND CELL. BRAILLE DOTS ARE RAISED A MINIMUM. OF 1/40" ABOVE THE BACKGROUND. CHARACTERS AND BACKGROUND OF SIGNS IS EGGSHELL, MATTE OR OTHER NON-GLARE FINISH. CHARACTERS CONTRAST WITH THEIR BACKGROUND (LIGHT CHARACTERS ON A DARK BACKGROUND, OR DARK CHARACTERS ON A LIGHT BACKGROUND). LETTERS ON SIGNS HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10.

**TACTILE EXIT SIGN DETAIL**  
SCALE: FULL

REVISIONS BY


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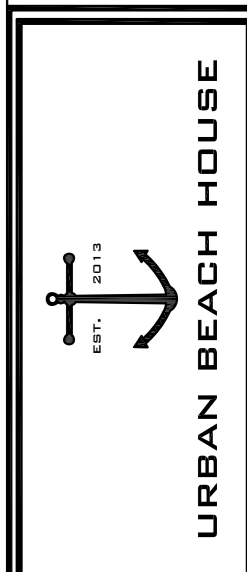
**URBAN BEACH HOUSE**

**DRV DESIGN**  
ARCHITECTS & DESIGNERS  
18281 Sun Maiden Ct  
San Diego, Ca 92127  
PH 656.592.9205

DATE: 07.26.16  
SCALE: 1/4"=1'-0"  
DRAWN:  
JOB: UBH  
SHEET  
A.1  
PRELIMINARY DRAWINGS

REVISIONS	BY

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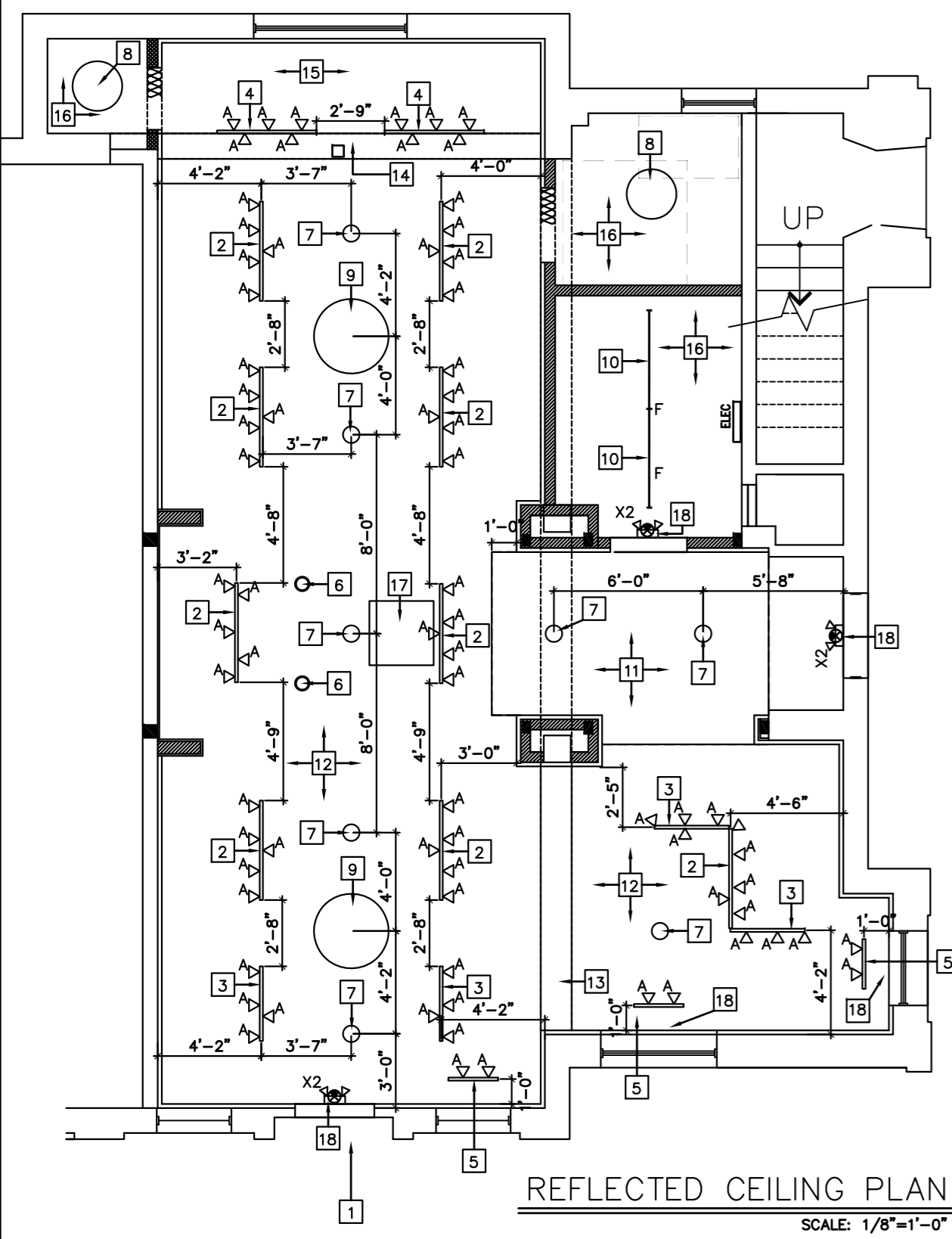
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 DRAWN:  
 JOB: UBH  
 SHEET  
**A.2**  
 PRELIMINARY DRAWINGS

REFLECTED CEILING PLAN NOTES

- 1 LOCATION OF PROPOSED SIGN @ STOREFRONT. SIGN CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL. (UNDER SEPARATE PERMIT).
- 2 4'-0" LONG TRACK LIGHTS @ CEILING.
- 3 3'-0" LONG TRACK LIGHTS (A) MOUNTED @ CEILING.
- 4 4'-0" LONG TRACK LIGHTS (A) MOUNTED VERTICAL ON FACE OF BEAM.
- 5 2'-0" LONG TRACK LIGHTS (A) AT CEILING.
- 6 PENDANT DECORATIVE LIGHTS (B). MOUNTED @ 7'-0" A.F.F
- 7 RECESSED DOWN LIGHTS (C).
- 8 PENDANT LIGHT,(D) PER TENANTS SELECTION (BOTTOM @7'-0" A.F.F.)
- 9 CHANDELIER.(E) PER TENANTS SELECTION (BOTTOM @7'-0" A.F.F.)
- 10 2 TUBE FLUORESCENT STRIP LIGHT MOUNTED ON EXISTING ROOF FRAMING.
- 12 PAINT FINISH TO GYP BD SOFFIT @ 8'-0" A.F.F
- 13 GYP-BD CEILING AT 10'-0"±AFF.(INSTALL GYP-BD ON FURRING CHANNELS ON EXISTING 2"X10 JOISTS @ 10'-1"± A.F.F.)
- 14 EXISTING BEAM @ 9'-5"± FINISH BY PAINTING
- 15 EXISTING BEAM @ 9'-5"±A.F.F TO REMAIN. REFINISH TO MATCH EXISTING STAIN.
- 16 EXISTING SLANTED JOINTS & ROOF DECK TO REMAIN PATCH & REFINISH AS REQUIRED
- 17 OPEN TO EXISTING ROOF DECK.
- 18 24"X24" ACCESS PANEL CO-ORDINATE LOCATION WITH HVAC CONTRACTOR.
- 19 EXIT SIGN/EMERGENCY LIGH WITH BATTERY PACK (X2)

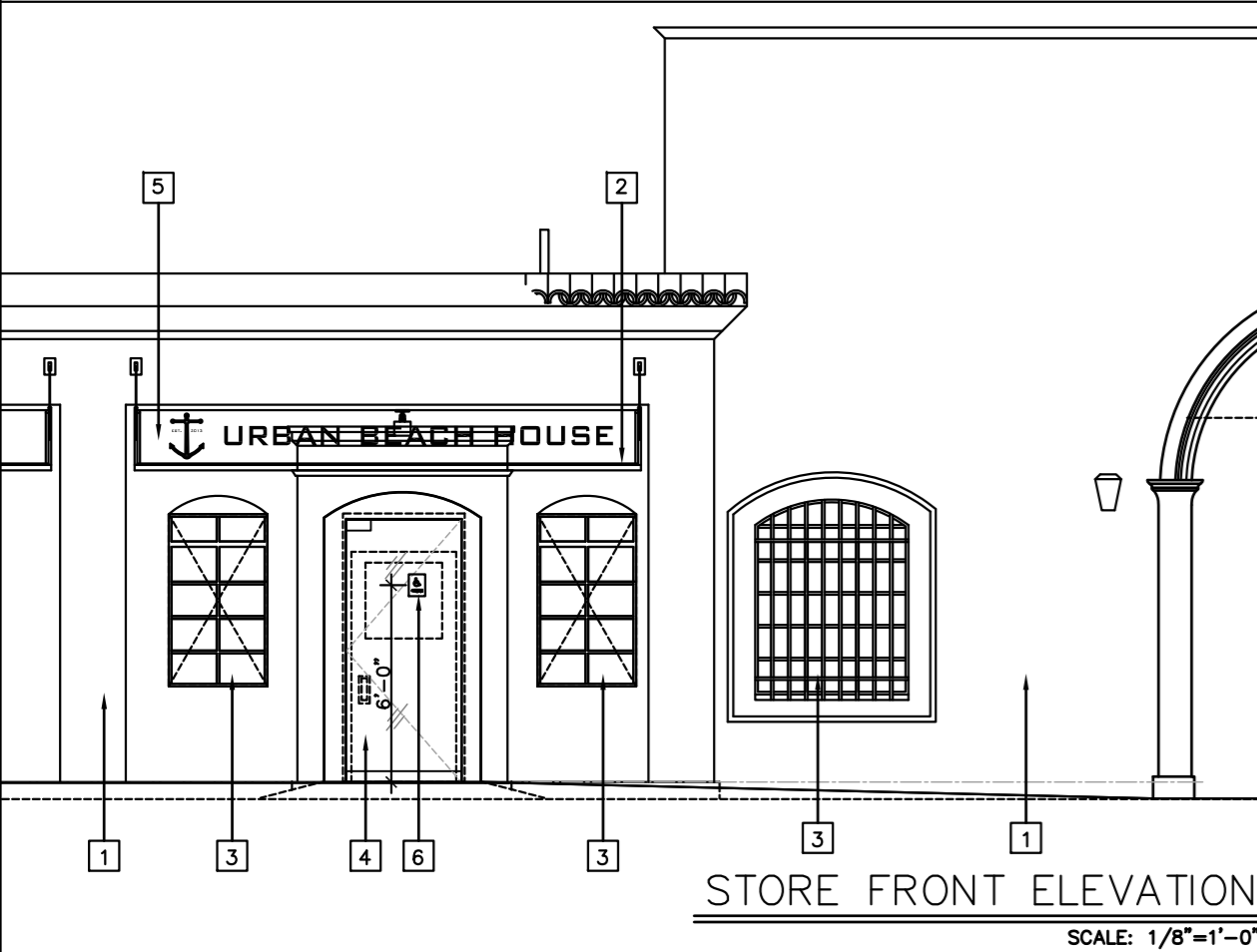
NOTE: PATCH AND REPAIR EXISTING FRAMING ELEMENTS EXTEND AS REQUIRED FOR INSTALLING GYP BD ON BOTTOM OF EXISTING FRAMING



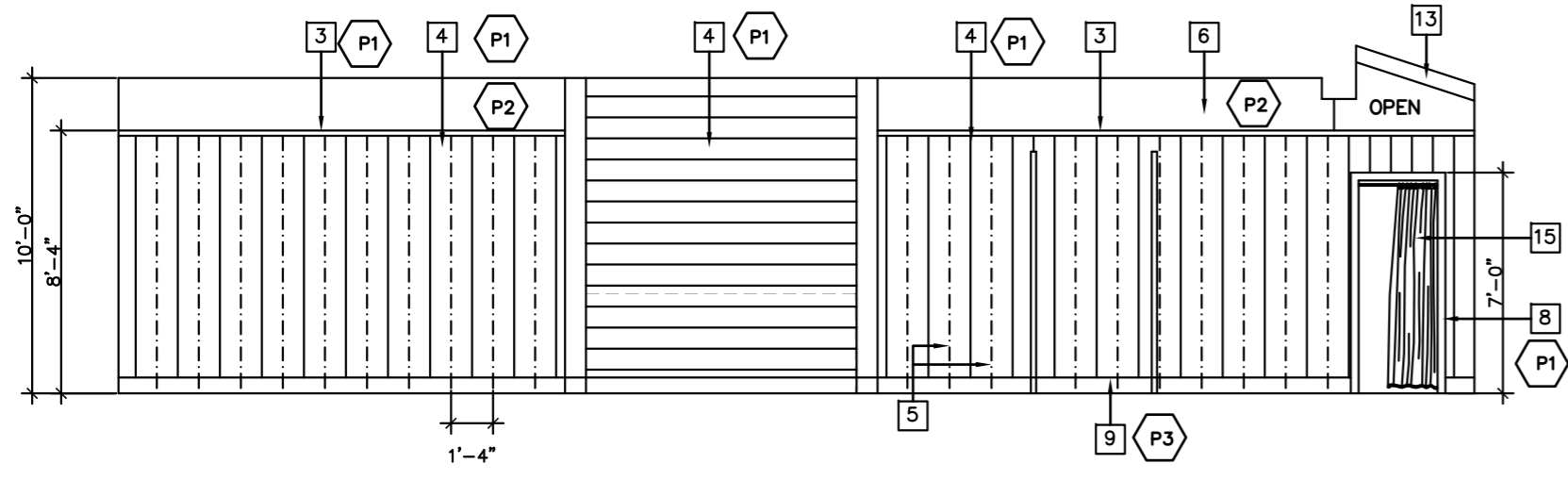
REFLECTED CEILING PLAN  
 SCALE: 1/8"=1'-0"

STOREFRONT ELEVATION NOTES:

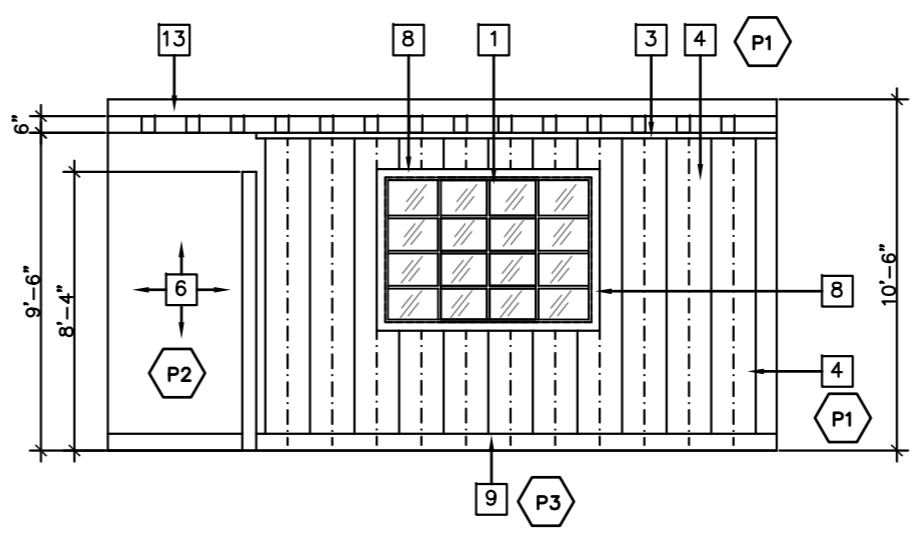
- 1 EXISTING MALL EXTERIOR.
- 2 LOCATION OF TENANT'S SIGN ON CANOPY. FABRICATOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL. (SIGN UNDER SEPARATE PERMIT).
- 3 EXISTING STOREFRONT GLAZING BY LANDLORD.
- 4 EXISTING ENTRY DOORS BY LANDLORD.
- 5 EXISTING CANOPY BY LANDLORD.
- 6 ACCESSIBILITY SIGN SEE DETAIL (1/A.4)



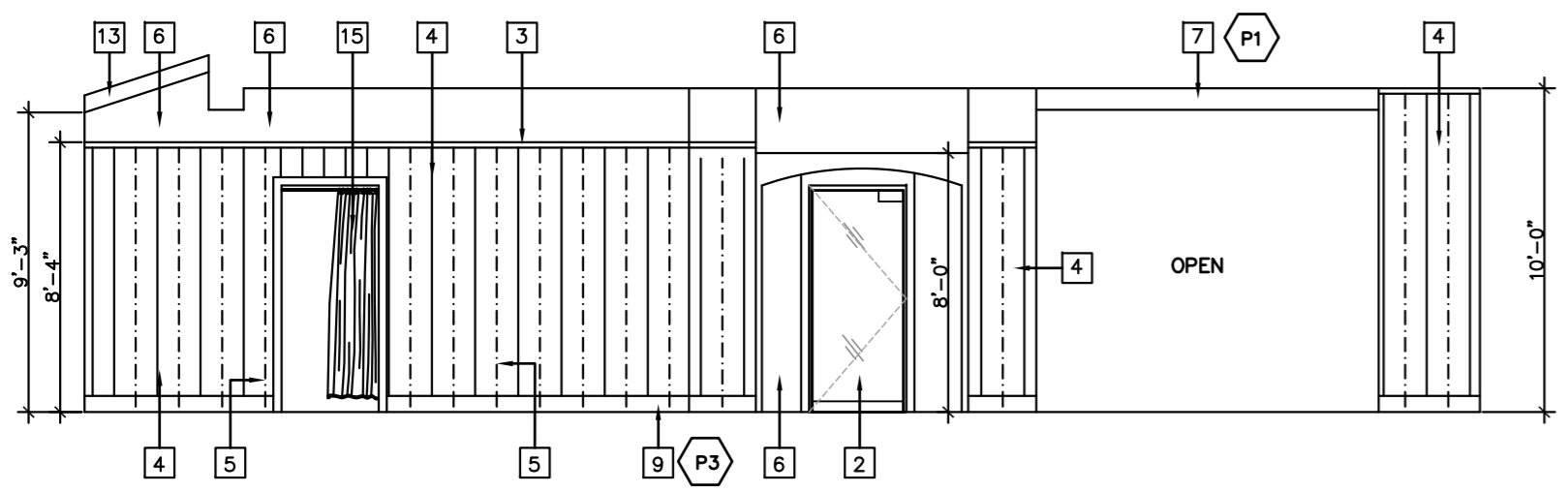
STORE FRONT ELEVATION  
 SCALE: 1/8"=1'-0"



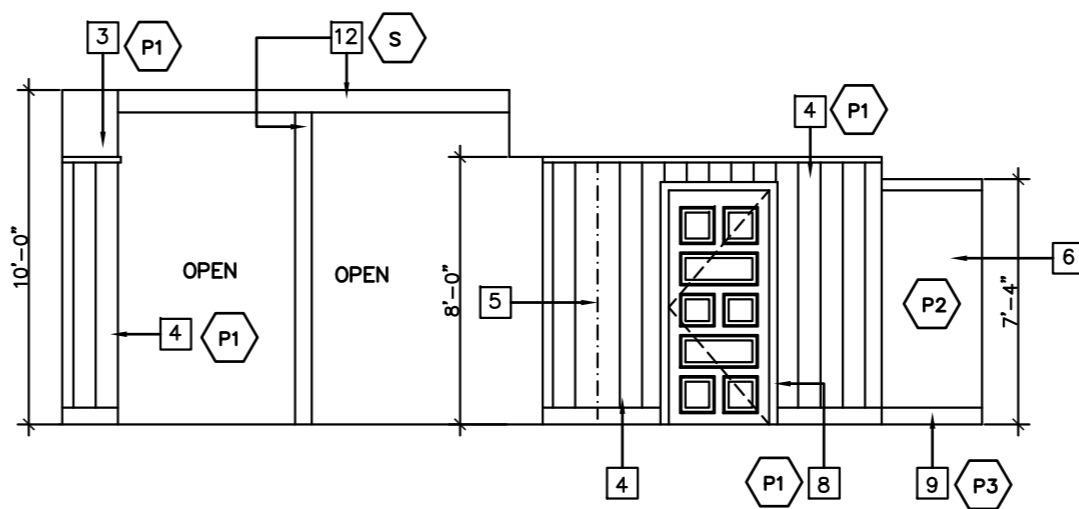
ELEVATION 1  
SCALE: 1/8"=1'-0" A.3



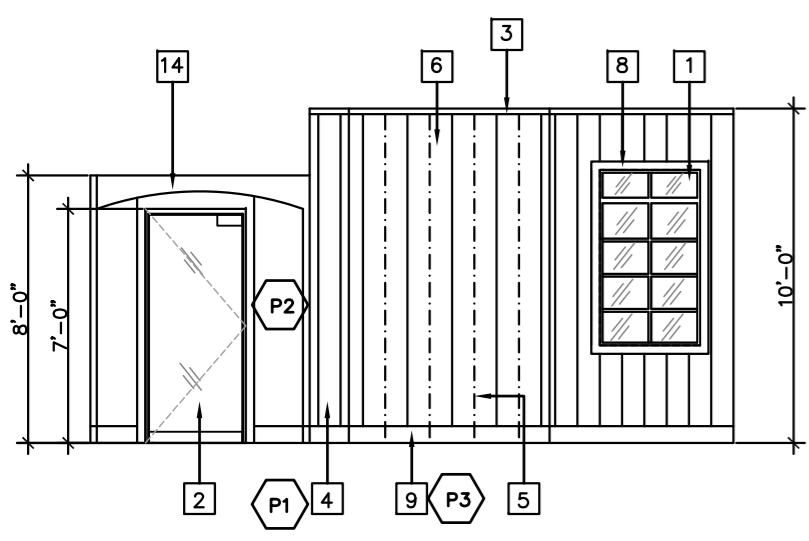
ELEVATION 2  
SCALE: 1/8"=1'-0" A.3



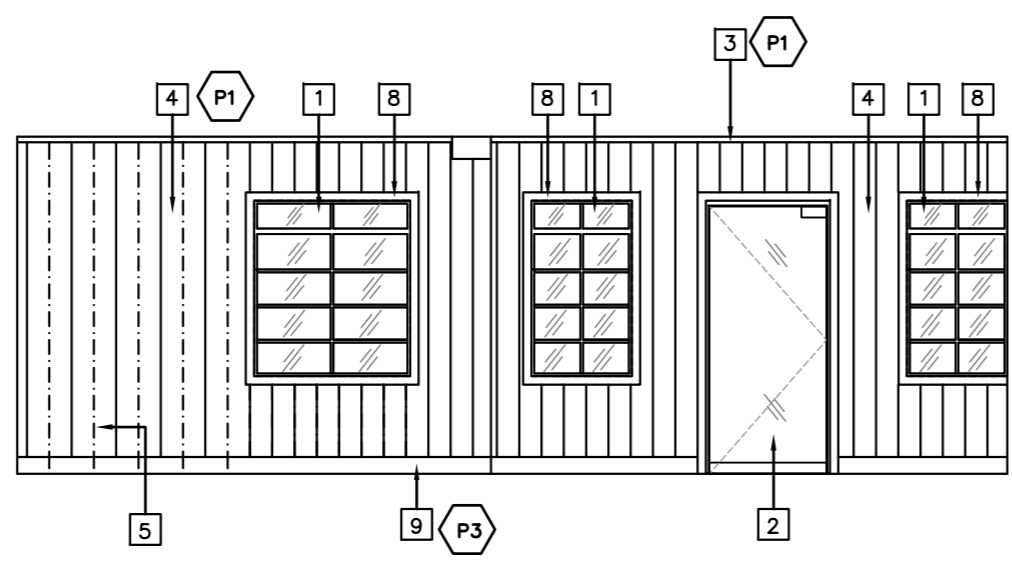
ELEVATION 3  
SCALE: 1/8"=1'-0" A.3



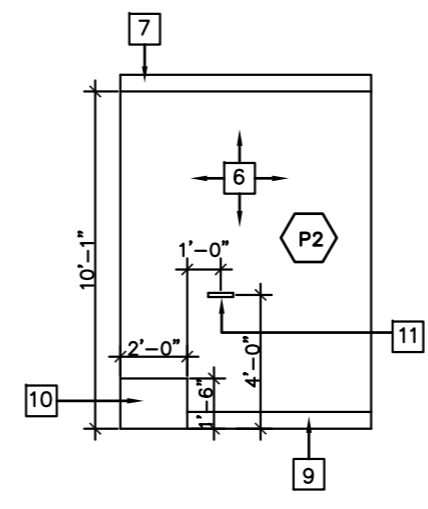
ELEVATION 4  
SCALE: 1/8"=1'-0" A.3



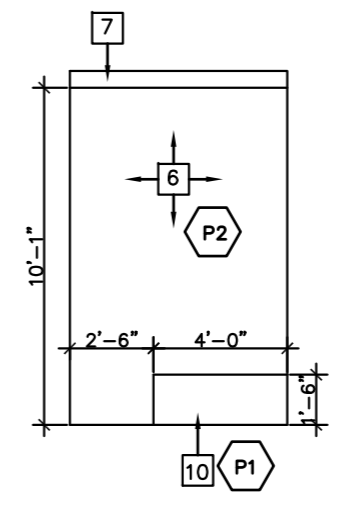
ELEVATION 5  
SCALE: 1/8"=1'-0" A.3



ELEVATION 6  
SCALE: 1/8"=1'-0" A.3



ELEVATION 7  
SCALE: 1/8"=1'-0" A.3



ELEVATION 8  
SCALE: 1/8"=1'-0" A.3

INTERIOR ELEVATIONS NOTES:

- 1 STOREFRONT GLAZING BY LANDLORD.
- 2 ENTRY DOORS BY LANDLORD.
- 3 2"X PAINTED WOOD TRIM CAP.
- 4 WOOD PANELING.
- 5 RECESSED STANDARDS @16" O.C. TYPE (EXCEPT ON COLUMN)
- 6 PAINTED GYP BD.
- 7 PAINT FINISH TO EXISTING BEAM & ROOF STRUCTURE.
- 8 1" X 3" PAINTED WOOD TRIM (TYPICAL AT WINDOW & DOOR OPENINGS).
- 9 1" X 6" WOOD BASE STAINED TO MATCH EXISTING WOODWORK (TYP.).
- 10 24" X 48" WIDE BENCH @ 18" A.F.F. STRUCTURAL STRENGTH SHALL COMPLY WITH ADA REQUIREMENTS.
- 11 CLOTHING HOOK MOUNTED @ 48" A.F.F. (PER ADA) PROVIDED AND INSTALLED BY OWNER
- 12 EXISTING STAIN FINISH POST & BEAMS (REFURNISH AS REQUIRED).
- 13 EXISTING STAIN FINISH ROOF JOISTS & DECK (REFURNISH AS REQUIRED).
- 14 EXISTING ARCHED CEILING.
- 15 OPENING WITH CURTAIN AT FITTING ROOM.

COLOR & MATERIAL SCHEDULE

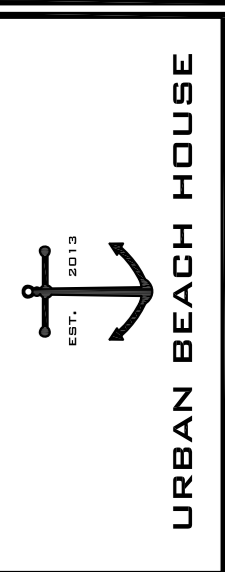
- P1 PAINT: FRAZEE WHITE SHADOW EGGSHELL FINISH
- P2 PAINT: FRAZEE WHITE SHADOW FLAT FINISH
- P3 PAINT: PAINT TO MATCH EXISTING WOOD STAIN
- S WOOD STAIN: EXISTING
- WDF FLOOR: ARMSTRONG NATURAL CREATION TP056 BARN SIDE EMBERS.

- NOTES:
- 1. ALL SURFACES TO BE PAINTED SHALL BE PREPARED AND PRIMED IN ACCORDANCE WITH PAINT MANUFACTURER'S RECOMMENDATIONS AND SHALL RECEIVE AT LEAST TWO COATS OF PAINT AFTER PRIMER.
  - 2. VERIFY LOCATION OF FINISHES FROM TENANT PRIOR TO APPLICATION.

NOTE: VERIFY LOCATIONS AND TYPES OF FINISHES FROM TENANT PRIOR TO APPLICATION.

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**A.3**  
PRELIMINARY DRAWINGS

**SPECIFICATIONS**

**DIVISION 1 - GENERAL CONDITIONS**

0101. GENERAL CONTRACTOR SHALL OBTAIN THE NECESSARY PAPERWORK RELATED TO CONTRACT FROM TENANT & SHALL APPRAISE ALL SUBCONTRACTORS, SUPPLIER AND ANY OTHER PARTIES TO THE CONTRACT OR INDIVIDUALS OR AGENCIES ENGAGED ON THE WORK AS TO ITS CONTENTS.

0102. APPLICABLE CODES: ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE AT THE EXPENSE OF THE TENANT, SUBJECT TO THE RECEIPT OF AN AFFIDAVIT OR LETTER FROM THE GOVERNING BODY AND TENANT'S PRIOR APPROVAL OF ANY ADDITIONAL COST TO BE INCURRED. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR INVOLVED.

0103. LANDLORD'S CRITERIA: ALL WORK IN THIS CONTRACT SHALL BE IN CONFORMITY WITH REQUIREMENTS SET FORTH IN THE LANDLORD'S "TENANT'S DESIGN CRITERIA" MANUAL. IT WILL BE GENERAL CONTRACTOR'S RESPONSIBILITY TO STUDY THE MANUAL AND MEET WITH ALL APPLICABLE REQUIREMENTS AS IT PERTAINS TO THIS PROJECT.

0104. GENERAL CONTRACTOR BIDDERS AND THEIR SUBCONTRACTORS SHALL REPORT ANY DISCREPANCIES IN THE TENANT'S WORKING DRAWINGS, INCLUDING VARIATIONS OF QUANTITIES OF FINISH MATERIALS TO BE SUPPLIED BY TENANT PRIOR TO SUBMISSION OF BIDS.

0105. THE TENANT'S GENERAL CONTRACTOR SHALL LAYOUT WORK IN CONFORMITY WITH REQUIREMENTS OF DRAWINGS, AND WILL BE HELD RESPONSIBLE FOR PROPER ESTABLISHMENT AND MAINTENANCE OF ALL LINES AND DIMENSIONS. BEFORE DOING ANY WORK, TENANT'S GENERAL CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS AT SITE AND NOTIFY THE TENANT OF FINDINGS IN WRITING.

0106. THE TENANT, WITHOUT INVALIDATING THE CONTRACT, MAY ORDER EXTRA WORK, ALTER, ADD TO, OR DEDUCT FROM THE CONTRACT WORK. THE CONTRACT SUM WILL BE ADJUSTED ACCORDINGLY.

0107. TENANT FURNISHED ITEMS: CONTRACTOR AGREES TO ACCEPT ALL TENANT FURNISHED ITEMS AT THE JOB SITE. HE SHALL COORDINATE DELIVERY AND SET UP OF SUCH ITEMS WITH TENANT AS REQUIRED, MANIFEST RETURNED TO TENANT.

0108. THE TENANT'S GENERAL CONTRACTOR SHALL MAINTAIN THE PREMISES IN A CLEAN AND ORDERLY FASHION DURING THE ENTIRE CONSTRUCTION PERIOD, REMOVING ALL TRASH AND RUBBISH FROM THE JOB SITE DAILY. ALL CONSTRUCTION DEBRIS SHALL BE CONTAINED WITHIN THE TENANT'S SPACE.

0109. TEMPORARY CONSTRUCTION: THE CONTRACTOR SHALL PROVIDE THE FOLLOWING SPECIFIED ITEMS OF TEMPORARY CONSTRUCTION:  
 A. FOR STORE REMODELING: WORK SHALL BE SCHEDULED TO PERMIT OPERATION OF THE STORE DURING THE ENTIRE REMODEL PERIOD.  
 B. TEMPORARY BARRICADES: THE CONTRACTOR SHALL ERECT TEMPORARY ENCLOSURES OVER OPENINGS WHEN SUCH ACTION IS NECESSARY FOR PROPER INSTALLATION OR PROTECTION OF ANY PORTION OF THE WORK. COSTS FOR SUCH BARRICADES SHALL BE PAID FOR BY THE GENERAL CONTRACTOR.  
 C. TEMPORARY TRASH STORAGE AND REMOVAL: THE CONTRACTOR SHALL MAKE PROVISIONS OR COORDINATE WITH THE TENANT'S LANDLORD TO PROVIDE ARRANGEMENTS FOR THE STORAGE AND REMOVAL OF CONSTRUCTION DEBRIS AND SHALL PAY COSTS AS THEY ARISE FOR SUCH PROVISION.  
 D. TEMPORARY FIRE PROTECTION: THE CONTRACTOR SHALL PROVIDE AND MAINTAIN FIRE EXTINGUISHERS AND OTHER EQUIPMENT AS NECESSARY FOR PROPER FIRE PROTECTION DURING CONSTRUCTION.  
 E. PROTECTION OF WORK IN PLACE: WORK IN PLACE THAT IS SUBJECT TO INJURY BECAUSE OF OPERATIONS BEING CARRIED ON ADJACENT THERETO SHALL BE COVERED, BOARDED UP, OR SUBSTANTIALLY ENCLOSED WITH ADEQUATE PROTECTION. ALL FORMS OF PROTECTION SHALL BE CONSTRUCTED IN A MANNER SUCH THAT, UPON COMPLETION, THE ENTIRE WORK WILL BE DELIVERED TO THE OWNER IN PROPER, WHOLE, AND UNBLEMISHED CONDITION.

0110. MATERIAL SUBSTITUTIONS: MANUFACTURER'S NAMES ARE LISTED HEREIN TO ESTABLISH A STANDARD. THE PRODUCTS OF OTHER MANUFACTURER'S WILL BE ACCEPTABLE IF, IN THE OPINION OF THE TENANT, THE SUBSTITUTE MATERIAL IS OF A QUALITY AS GOOD OR BETTER THAN THE MATERIAL SPECIFIED AND WILL SERVE WITH EQUAL EFFICIENCY AND DEPENDABILITY THE PURPOSE FOR WHICH THE ITEMS SPECIFIED WERE INTENDED.

0111. MATERIALS: ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURER'S. ALL LIKE MATERIALS USED SHALL BE NEW AND FREE FROM ANY DEFECTS. ALL LIKE MATERIALS USED SHALL BE OF THE SAME MANUFACTURER AND QUALITY UNLESS OTHERWISE SPECIFIED.

0112. WORKMANSHIP: ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED BY COMPETENT WORKMEN, AND EXECUTED IN A NEAT AND WORKMAN LIKE MANNER. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR AFTER THE DATE OF ACCEPTANCE OF SPACE BY THE TENANT.

0113. SHOP DRAWINGS: SHOP DRAWINGS AND CATALOG DATA ON ALL MAJOR ITEMS OF EQUIPMENT AND SYSTEMS, AND SUCH OTHER ILLUSTRATIVE MATERIAL AS MAY BE CONSIDERED NECESSARY BY THE TENANT WILL BE SUBMITTED BY THE CONTRACTOR IN ADEQUATE TIME TO PREVENT DELAY AND CHANGES DURING CONSTRUCTION. THREE (3) SETS ARE REQUIRED PER SUBMISSION.

**DIVISION 5 - METALS**  
 0501. STRUCTURAL METALS: THE DESIGN, FABRICATION AND INSTALLATION OF ALL MISCELLANEOUS METAL LINTELS, SUPPORTS AND FRAMING REQUIRED FOR ALL STOREFRONT WORK SHALL BE THE SOLE RESPONSIBILITY OF THE TENANT'S GENERAL CONTRACTOR. THE TENANT'S STRUCTURE AT THE STOREFRONT SHALL BE INDEPENDENT OF THE LANDLORD'S STRUCTURE.

0502. PROVIDE AND INSTALL 3-5/8" X 20 GA. METAL STUDS AT 16" O.C. AS INDICATED ON PLANS. FOR ALL INTERIOR PARTITIONS, PROVIDE DIAGONAL BRACING AS REQUIRED BY CODES. ALL PARTITIONS TO HAVE 5/8" TYPE "X" FIRE CODE GYPSUM BOARD.

**DIVISION 6 - WOOD AND PLASTICS**

0601. PLYWOOD: PLYWOOD SHALL BE PAINT GRADE BIRCH IN CABINETRY IF PAINT FINISH IS TO BE APPLIED. ALL EXPOSED EDGES SHALL HAVE A 1/4" THICK HARDWOOD EDGE BAND. PROVIDE NON-COMBUSTIBLE BACKING IN WALLS WHERE REQUIRED.

0602. PARTICLE BOARD: ALL PARTICLE BOARD SHALL BE HIGH DENSITY INDUSTRIAL GRADE. ALL EXPOSED EDGES IN CABINETRY SHALL HAVE A 1/4" THICK HARDWOOD EDGE BAND.

0603. PLASTIC LAMINATE: ALL LAMINATED PLASTIC SHALL BE 1/16" THICK. ALL PLYWOOD AND PARTICLE BOARD DOORS WHICH ARE TO HAVE A LAMINATED PLASTIC FRONT SHALL HAVE A LAMINATED PLASTIC BALANCE SHEET ON BACK.

0604. MILLWORK: PROVIDE TRIM, MILLWORK AND CABINETS CONFORMING TO TENANT'S DRAWINGS AND GUIDE SPECIFICATIONS FOR ARCHITECTURAL WOODWORKING INSTITUTE FOR CUSTOM GRADE WORK, ALSO PROVIDE & INSTALL OSB WOOD PANELS ON GYP. BD. AS INDICATED.

0605. SLATWALL: SLATWALL SHALL BE 4'-0" X 8'-0" PANELING MADE OUT OF MEDIUM DUTY FIBERBOARD CONSTRUCTION BY SPACEWALL OR APPROVED EQUAL. ADHESIVE USED FOR INSTALLATION SHALL BE MARLITE C-375 OR APPROVED EQUAL. INSTALLATION AS PER MANUFACTURER'S RECOMMENDATION. FINISH SHALL BE IN ACCORDANCE WITH BUILDING CODE REQUIREMENTS.

**DIVISION 7 - THERMAL PROTECTION**

0701. INSULATION: PER LANDLORDS REQUIREMENTS.

0702. FLASHING AND SHEET METAL: PER LANDLORD REQUIREMENTS.

0703. SEALANT AND CAULKING: PER LANDLORDS REQUIREMENTS.

**DIVISION 8 - DOORS AND WINDOWS**

0801. HOLLOW AND SOLID CORE WOOD DOORS SHALL BE MANUFACTURED IN ACCORDANCE WITH THE LATEST NATIONAL WOODWORK MANUFACTURER'S ASSOCIATION INDUSTRY STANDARD. DOORS SHALL BE SOLID CORE MASONITE OR PAINT GRADE BIRCH UNLESS OTHERWISE NOTED ON DOOR SCHEDULE. HARDWARE SHALL BE RUSSWIN, YALE OR CORBIN. INSTALL ALL FINISH HARDWARE AND BUILDING SPECIALTIES NORMALLY INSTALLED BY THIS TRADE.

0802. STOREFRONT AND GLAZING: EXISTING PROVIDED BY LANDLORD.

0803. GLASS DOORS: ENTRY DOORS - EXISTING PROVIDED BY LANDLORD.

**DIVISION 9 - FINISHES**

0901. GYPSUM WALLBOARD: ALL GYPSUM BOARD SHALL BE 5/8" THICK TYPE "X" FIRE CODE. ALL GYPSUM BOARD AT OUTSIDE CORNERS SHALL RECEIVE "USG" DUR-A-BED #101. USE "USG" #200B METAL TRIM WHERE ENDS ARE EXPOSED. ALL JOINTS SHALL HAVE "USG" PERF-A-TAPE JOINT SYSTEM. GYPSUM BOARD SHALL EXTEND TO THE UNDERSIDE OF THE DECK AND WILL BE AIRTIGHT TO THE DECK AT THE DEMISING PARTITIONS.

0902. WOOD FLOOR: PROVIDE AND INSTALL AMTICO WOOD FLOORING THROUGHOUT TENANTS SPACE AS INDICATED ON DRAWINGS. INSTALLATION IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION & INDUSTRY STANDARDS FOR SUCH WORK.

0903. WOOD BASE: PROVIDE AND INSTALL PREFINISHED WOOD BASE IN AREAS INDICATED ON DRAWING. INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS & INDUSTRY STANDARDS FOR SUCH WORK.

0904. PAINTING: ALL SURFACES TO BE PAINTED SHALL BE PREPARED AND PRIMED IN ACCORDANCE WITH PAINT MANUFACTURER'S RECOMMENDATIONS AND SHALL RECEIVE AT LEAST TWO COATS OF PAINT AFTER PRIMERS. FINISH ALL GYPSUM BOARD WALLS IN PUBLIC AREAS, WITH EGGSHELL PAINT. FINISH GYPSUM BOARD IN NONPUBLIC AREAS (STOCK ROOM AND TOILET), ALL WOOD TRIMS, DOORS, DOOR FRAMES WITH SEMI-GLOSS LATEX ENAMEL PAINT.

0905. RUBBER BASE: PROVIDE AND INSTALL VINYL AND/OR RUBBER BASE AS INDICATED IN COLOR AND MATERIAL SCHEDULE WHERE INDICATED ON DRAWINGS. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

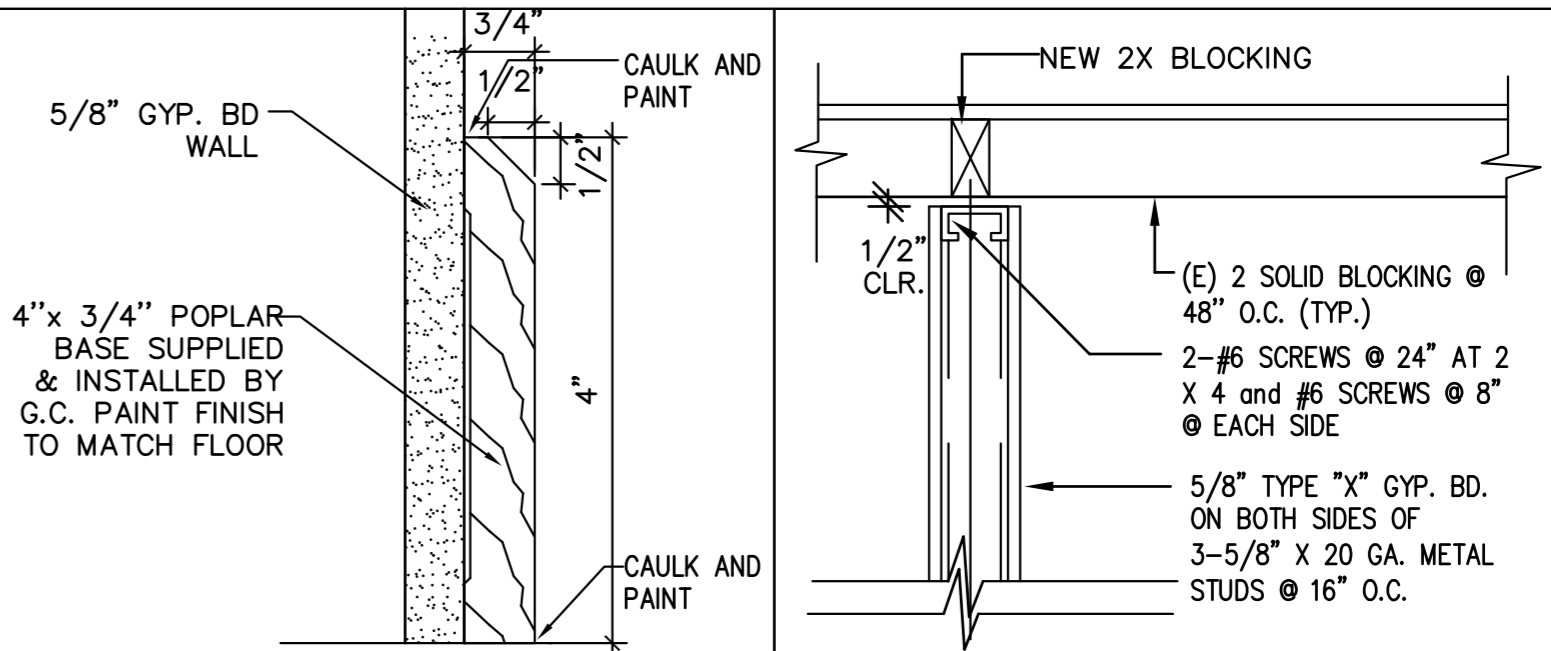
**DIVISION 10 - SPECIALTIES**

1001. NEON WORK AND SIGNAGE: PROVIDE AND INSTALL STOREFRONT SIGNAGE AS INDICATED ON DRAWINGS. SUBMIT SHOP DRAWINGS OF SIGNAGE WORK TO LANDLORD AND TENANT FOR APPROVAL PRIOR TO FABRICATION.

1002. DECOR ITEMS: TENANT'S GENERAL CONTRACTOR SHALL INSTALL DECORATIVE ELEMENTS FURNISHED BY TENANT'S SPECIALTY CONTRACTOR. INSTALLATION SHALL BE IN ACCORDANCE WITH APPLICABLE CODES AND INDUSTRY STANDARDS FOR SUCH WORK. FABRICATOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL.

**DIVISION 11 - EQUIPMENT**

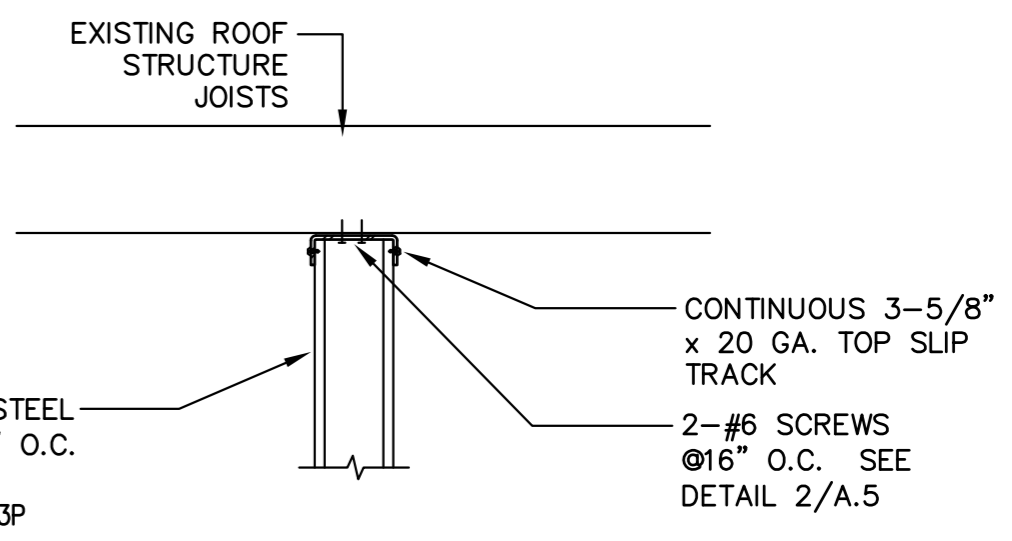
1101. FIXTURE CONTRACTOR SHALL VERIFY QUANTITIES, AND TYPES OF FIXTURES INDICATED ON DRAWINGS PRIOR TO FABRICATION. SHOP DRAWINGS SHALL BE REQUIRED OF ALL CUSTOM FABRICATED FIXTURES. TENANT SHALL SELECT ALL PERIMETER HARDWARE AND ACCESSORIES. GENERAL CONTRACTOR SHALL COORDINATE DELIVERY AND INSTALLATION OF FIXTURES WITH TENANT AND FIXTURE CONTRACTOR.



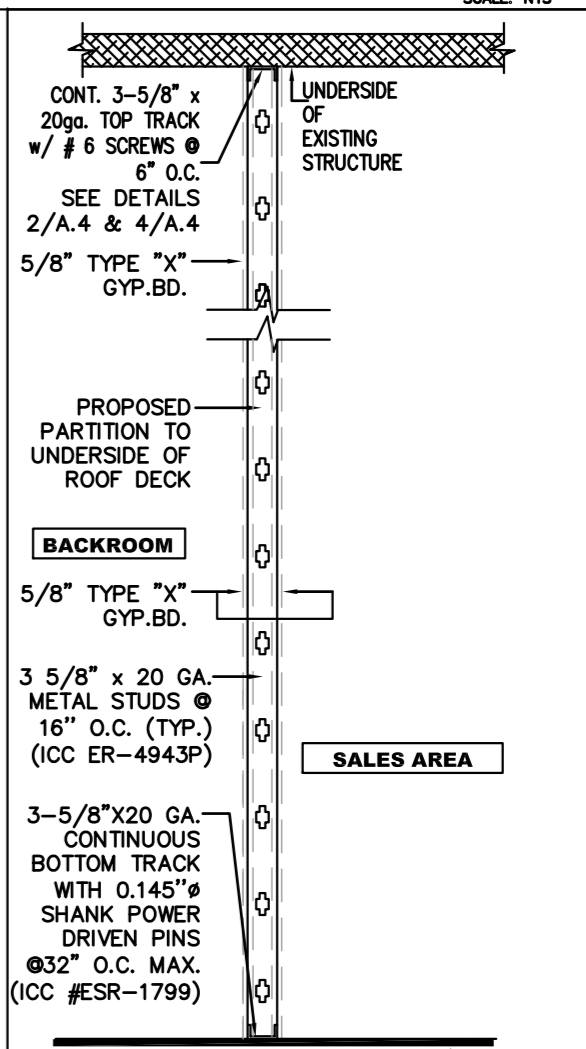
WOOD BASE

PARTITION CONNECTION TO STRUCTURE

VERIFY THAT THE SHOWN METHOD OF ATTACHMENT IS ACCEPTABLE WITH THE ON-SITE COORDINATOR. IF NOT, CONTACT ARCHITECT FOR ALTERNATE DETAIL.



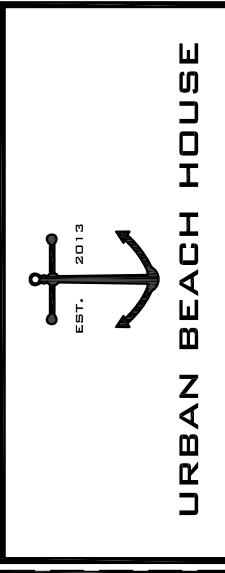
ATTACHMENT TO STRUCTURE ABOVE



SECTION THROUGH BACKROOM/SALES AREA

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PRELIMINARY DRAWINGS